

**SITE DATA**

OWNER: SALTWATER WOODWORKING, INC.  
 200 S. 4TH STREET  
 CAROLINA BEACH, NC 28428  
 Email: saltwaterwoodworking@gmail.com

SITE ADDRESS: 119 BRYAN ROAD  
 NWC PIN: R06500-006-004-000  
 TOTAL TRACT AREA: 0.45 ACRES  
 ZONING: IND-INDUSTRIAL DISTRICT  
 PROPOSED USE: LIGHT INDUSTRIAL USE, NOT WOODWORKING  
 CAMA LAND USE: URBAN  
 FLOOD DATA: ZONE X, FIRM 3720/3115 J, EFFECTIVE 6/02/2006  
 NO OPEN SPACE OR RECREATIONAL AREAS PROVIDED  
 SETBACKS:  
 FRONT 50 FEET  
 SIDE 20 FEET (WHEN ABUTTING RESIDENTIAL USE)  
 REAR 0 FEET  
 SOLID WASTE DISPOSAL: ROLL-OUT TRASH CANS WILL BE KEPT INSIDE THE OPEN AIR CENTER BUILDING.  
 CURRENT IMPERVIOUS: 2,457 SF  
 PROPOSED IMPERVIOUS: 6,854 SF  
 TOTAL IMPERVIOUS: 9,311 SF  
 LOT COVERAGE CALCULATIONS:  
 BUILDINGS: 5,987 sf  
 LOT AREA: 19,972 sf  
 LOT COVERAGE: BUILDINGS/LOT AREA  
 LOT COVERAGE: 30%

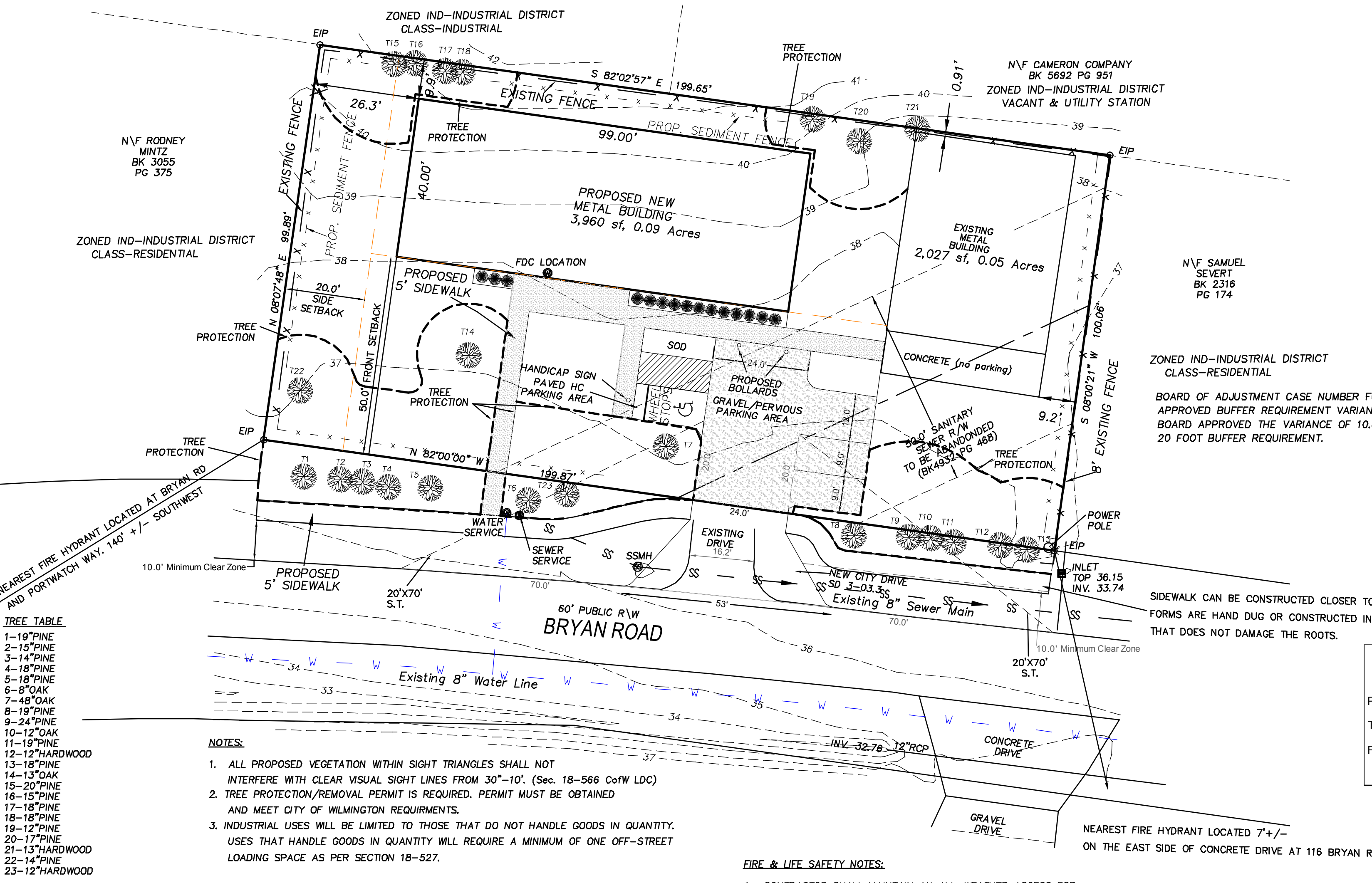
EXISTING BUILDING AREA: 2,027 SF  
 PROPOSED BUILDING AREA: 3,960 SF  
 PARKING REQUIREMENTS/CALCULATIONS: INDUSTRIAL (square footage is based upon building area)  
 MAXIMUM 1 SPACE PER 1,000 SF = 5,987 / 1,000 SF = 5.9 = 6 SPACES  
 MINIMUM 1 SPACE PER 1,500 SF = 5,987 SF / 1,500 SF = 3.9 = 4 SPACES  
 PROPOSED PARKING: 4 SPACES

EXISTING WATER: - 410 GPD  
 EXISTING SEWER: - 0 GPD  
 PROPOSED WATER: 820 GPD (PROPOSED 2 X 410)  
 PROPOSED SEWER: 480 GPD (PROPOSED 2 X 240)

**BUILDING DETAILS:**  
 # OF BUILDINGS: 2  
 # OF STORIES: 1  
 BUILDING HEIGHT (proposed): 16'  
 1ST FLOOR: 3,960 SF  
 BUILDING SETBACKS (proposed):  
 FRONT SETBACK: 50.0'  
 REAR SETBACK: 9.9'  
 WEST SIDE SETBACK: 26.3'  
 EAST SIDE SETBACK: n/a; Existing Building on East side

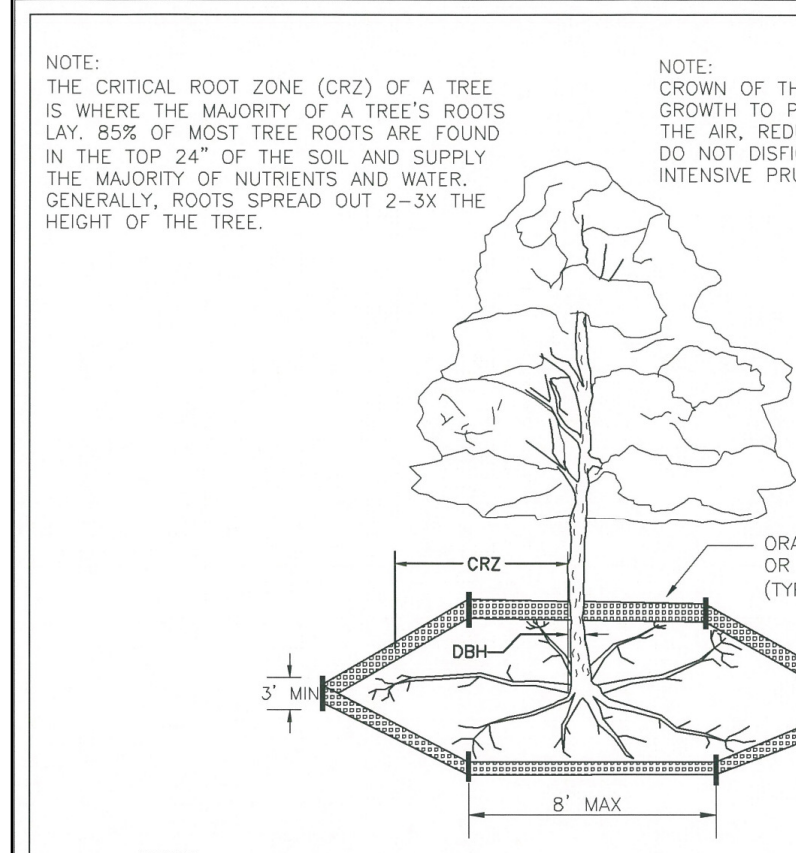
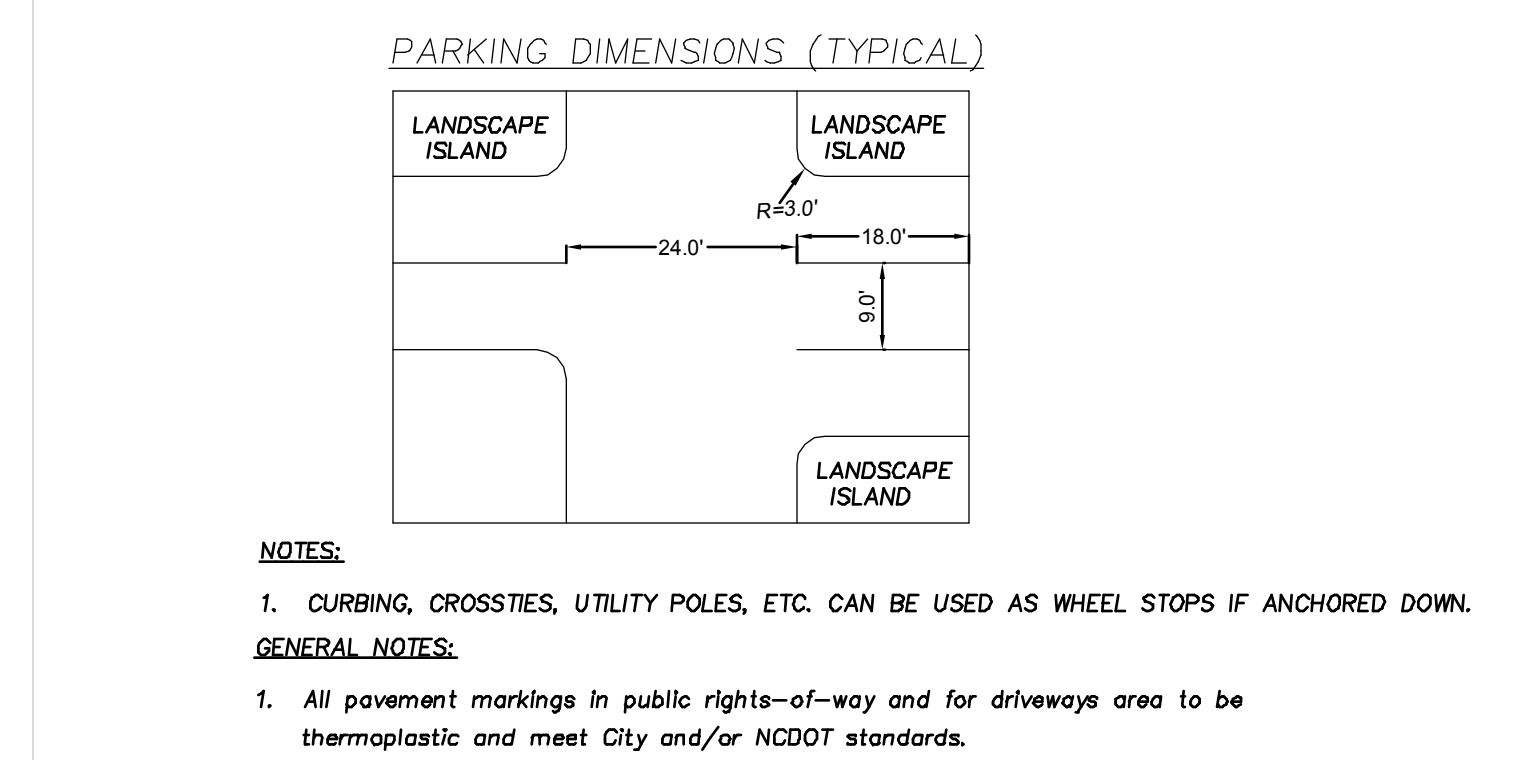
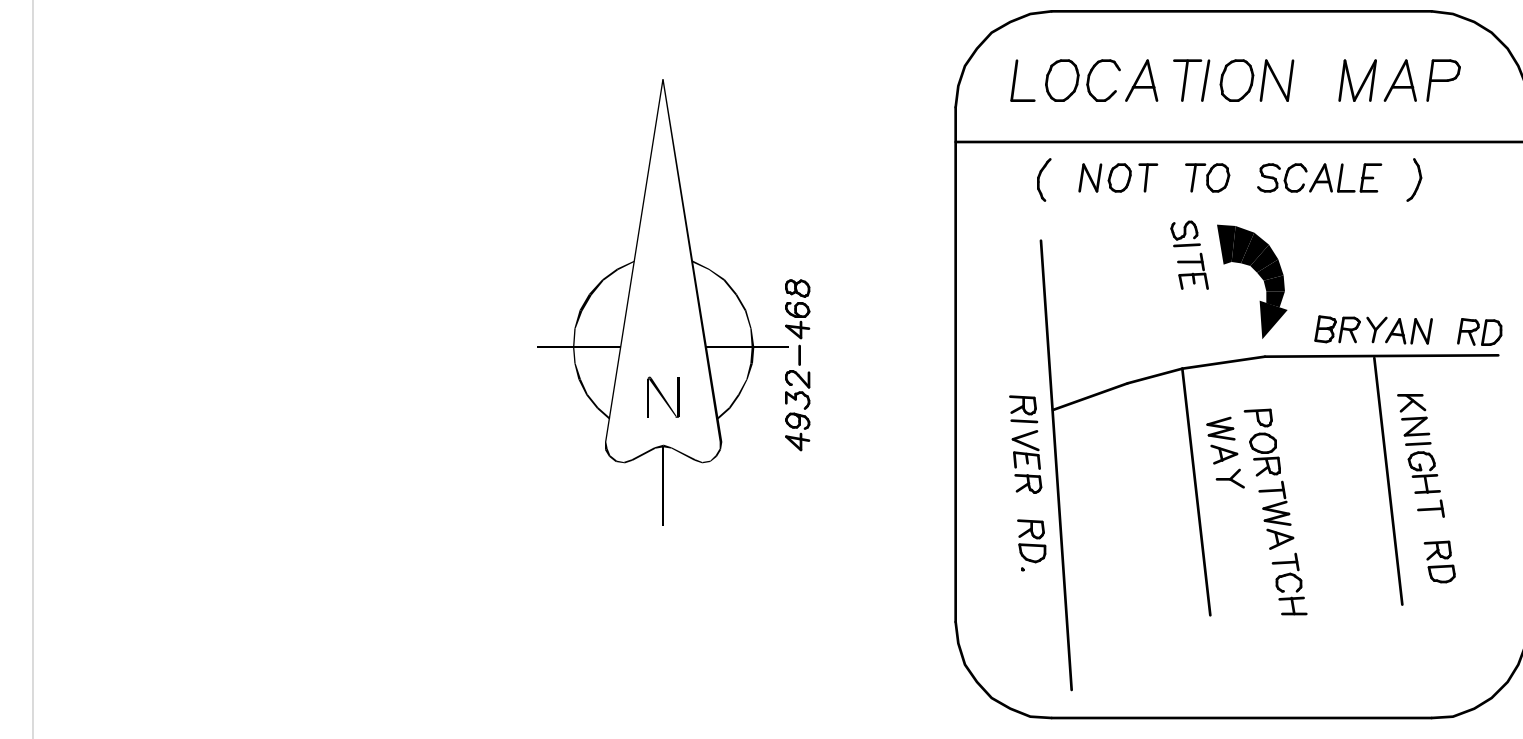
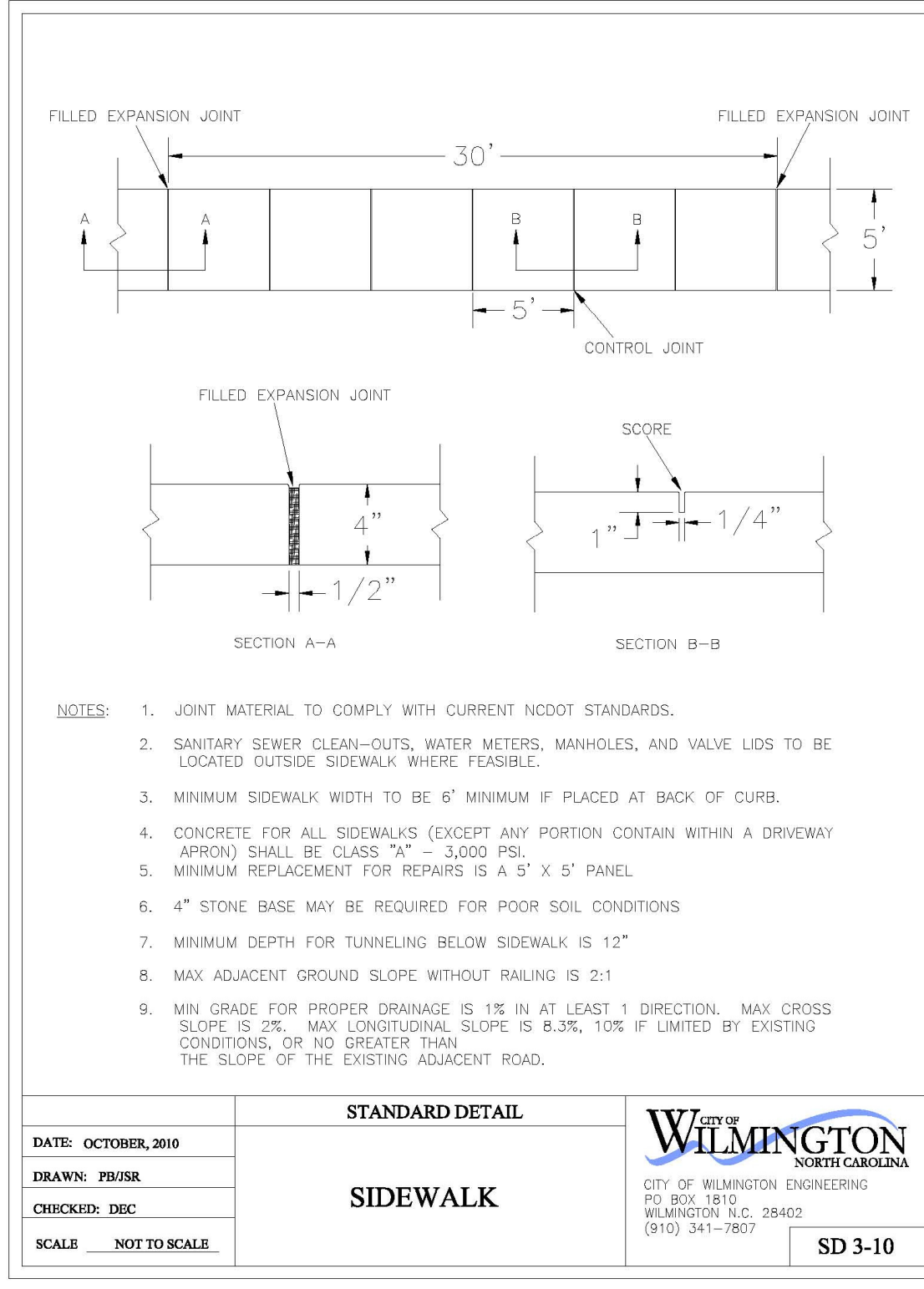
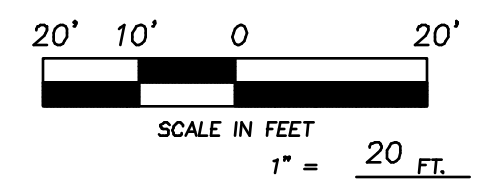
LANDSCAPING:  
 SEE LANDSCAPING PLAN FOR PROPERTY LANDSCAPING AND REQUIREMENTS.

N/F ARTHUR LEA  
 BK 2886 PG 715



- TREE TABLE**
- 1-19" PINE
  - 2-15" PINE
  - 3-14" PINE
  - 4-18" PINE
  - 5-18" PINE
  - 6-8" OAK
  - 7-48" OAK
  - 8-19" PINE
  - 9-24" PINE
  - 10-12" OAK
  - 11-19" PINE
  - 12-12" HARDWOOD
  - 13-18" PINE
  - 14-13" OAK
  - 15-20" PINE
  - 16-15" PINE
  - 17-18" PINE
  - 18-18" PINE
  - 19-12" PINE
  - 20-17" PINE
  - 21-13" HARDWOOD
  - 22-14" PINE
  - 23-12" HARDWOOD
- LEGEND**
- E.I.P. = EXISTING IRON PIPE
  - E.I. = EXISTING IRON
  - C.M. = EXISTING CONCRETE MONUMENT
  - R.W. = RIGHT OF WAY
  - C.P. = COMPUTED POINT
  - = SMALL TREE
  - = DWARF EVERGREENS
- PROPERTY LINE**
- BUILDING SETBACK**
- CENTERLINE**
- EASEMENT**
- COMPUTED PROPERTY LINE**

- NOTES:**
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'. (Sec. 18-566 Co/W LDC)
  - TREE PROTECTION/REMOVAL PERMIT IS REQUIRED. PERMIT MUST BE OBTAINED AND MEET CITY OF WILMINGTON REQUIREMENTS.
  - INDUSTRIAL USES WILL BE LIMITED TO THOSE THAT DO NOT HANDLE GOODS IN QUANTITY. USES THAT HANDLE GOODS IN QUANTITY WILL REQUIRE A MINIMUM OF ONE OFF-STREET LOADING SPACE AS PER SECTION 18-527.
- NOTES:**
- FDL LOCATION IS TO BE RECOMMENDED AND APPROVED BY THE FIRE MARSHAL. OWNER DOES NOT HAVE A PREFERRED LOCATION FOR FDL.
  - BUILDING WILL BE LIGHT INDUSTRIAL USE (not woodworking).
  - BUILDING IS TO BE METAL BUILDING TO CODE.
  - A WATER FLOW ANALYSIS WILL BE REQUIRED TO DETERMINE THE CORRECT WATER MAIN SIZE TO MEET FIRE FLOW REQUIREMENTS.
- NOTES:**
- AREA COMPUTED BY COORDINATE METHOD
  - ALL DISTANCES ARE HORIZONTAL, NC GRID NORTH
  - FOR REFERENCE SEE AS NOTED
  - SURVEYED DECEMBER 2015, TOPOGRAPHIC INFORMATION ADDED APRIL 2017
  - ELEVATION BASED ON NAVD 1988 (HDS GPS)
- FIRE & LIFE SAFETY NOTES:**
- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
  - HYDRANT MUST BE WITHIN 150' OF THE FDL. (MEASURED AS THE TRUCK DRIVES FOR PRECATALOG USE)
  - LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDL OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDL.
  - IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
  - PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE & LIFE SAFETY DIVISION 910-343-0696.
  - ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.



**NOTES:**

- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
- IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
- WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
- FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
- FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

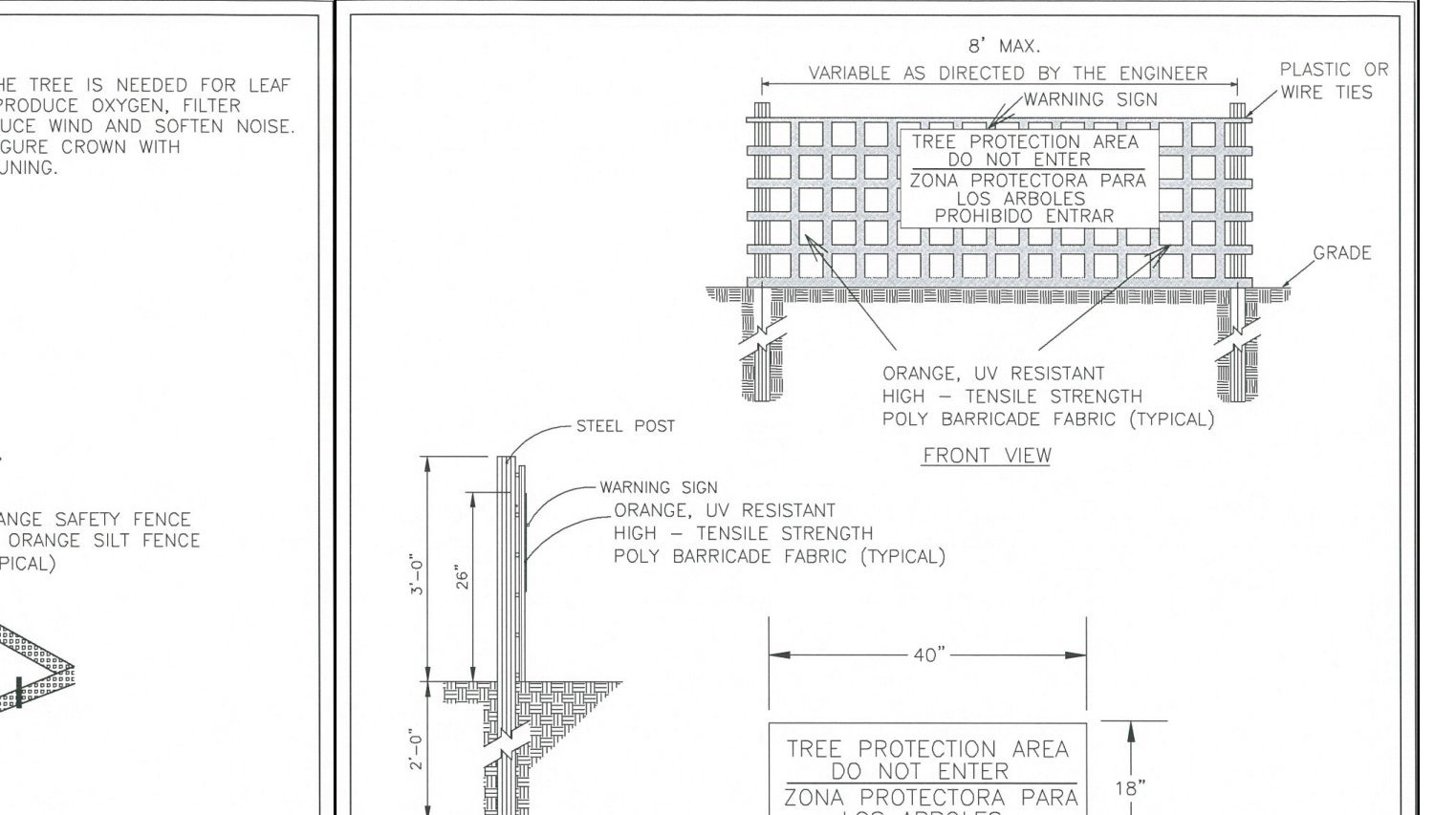
**STANDARD DETAIL**  
**TREE PROTECTION DURING CONSTRUCTION**

DATE: JAN, 2015  
 DRAWN BY: JSR  
 CHECKED BY: RDO, P.E.  
 SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 CITY OF WILMINGTON ENGINEERING  
 PO BOX 1810  
 WILMINGTON, NC 28402  
 (910) 341-7807

SD 15-09

SHEET 1 of 2



**NOTES:**

- THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
- SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
- ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCING AND SIGNS THROUGHOUT DURATION OF PROJECT.
- TREE PROTECTION FENCING AND SIGNS SHALL BE REMOVED AFTER CONSTRUCTION.
- ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

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 PO BOX 1810  
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SD 15-09

SHEET 2 of 2

**SITE PLAN**  
**SALTWATER PROPERTIES LLC**  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NORTH CAROLINA

**OWNER:** SALTWATER WOODWORKING, INC.  
 200 S. 4TH STREET  
 CAROLINA BEACH, NC 28428  
 PH.

**HANOVER DESIGN SERVICES, P.A.**  
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS  
 1123 FLORAL PARKWAY  
 WILMINGTON, N.C. 28403  
 PHONE: (910) 343-8002 LICENSE NO. IC-058Z

**PRELIMINARY PLAN**

Date: 12-01-17  
 Scale: 1" = 20'  
 Drawn: WNP  
 Checked: JLW  
 Project No: 12957-site  
 Sheet No: 1  
 Of: 2

REV. NO.	REVISIONS	DATE
3	CITY COMMENTS	08-28-2018
2	BUILDING CROSS AREA CHANGE, PARKING CHANGES	03-14-2018
1	CITY OF WILMINGTON TRC REVIEW COMMENTS	10-10-2017

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**Preliminary Plan**

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 SIDE 20 FEET (WHEN ABUTTING RESIDENTIAL USE)  
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 BUILDING SETBACKS (proposed):  
 FRONT SETBACK: 50'  
 REAR SETBACK: 9.9'  
 WEST SIDE SETBACK: 26.3'  
 EAST SIDE SETBACK: n/a; Existing Building on East side

**LANDSCAPING DATA**

STREET YARD CALCULATION  
 MAXIMUM WIDTH: 37.5'  
 MINIMUM WIDTH: 12.5'  
 PROVIDED STREET YARD (sf): 2,009 sf  
 STREET YARD MINIMUM STANDARD: FOR EVERY 600 SQUARE FEET OF STREET YARD AREA, THE STREET YARD SHALL CONTAIN:  
 a. ONE (1) CANOPY TREE AS SPECIFIED IN SECTION 18-44B, OR  
 b. THREE (3) STANDARD UNDERSTORY TREES WHERE OVERHEAD POWER LINES PROHIBIT CANOPY TREES IN THE STREET YARD.  
 c. SIX (6) SHRUBS, TWELVE (12) INCHES IN HEIGHT AT PLANTING.  
 PROVIDED STREET YARD (sf) / MINIMUM STANDARD:  
 = 2009 sf / 600 sf = 3.3 CANOPY TREES = 4 CANOPY TREES REQUIRED  
 = 5 EXISTING TREES (T7, T14, T22), 1 ADDITIONAL CANOPY TREES PROVIDED  
 = 2009 sf / 600 sf x 6 = 21 SHRUBS REQ. = 21 SHRUBS PROVIDED  
 STREET YARD COVERED BY IMPERVIOUS AREA:  
 MAXIMUM: NO MORE THAN 15%, 2009 sf x 0.15 = 302 sf  
 PROPOSED: 63 sf OF IMPERVIOUS INSIDE STREET YARD

PARKING AREA INTERIOR:  
 CANOPY COVERAGE NOT REQUIRED BECAUSE LESS THAN 5 PARKING SPACES

FOUNDATION PLANTINGS:  
 99' x 16'(height) x 12x = 191 sf REQUIRED  
 FOUNDATION AREA PROVIDED = 200 sf

**LANDSCAPING NOTES:**

- ALL PLANTINGS SHALL BE CURBED OR OTHERWISE PHYSICALLY PROTECTED SUCH AS BY WHEEL STOPS. IF CURBING IS USED, HOWEVER, CURB OPENINGS SHALL BE INSTALLED TO ALLOW PASSAGE OF STORMWATER INTO LANDSCAPED AREAS DESIGNED WITH DEPRESSED CONTOURS FOR INFILTRATION. (Sec. 18-481(f))
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- HVAC SYSTEM TO BE NON-VISIBLE FROM ADJACENT RESIDENTIAL USES.

**LANDSCAPING PLAN:**

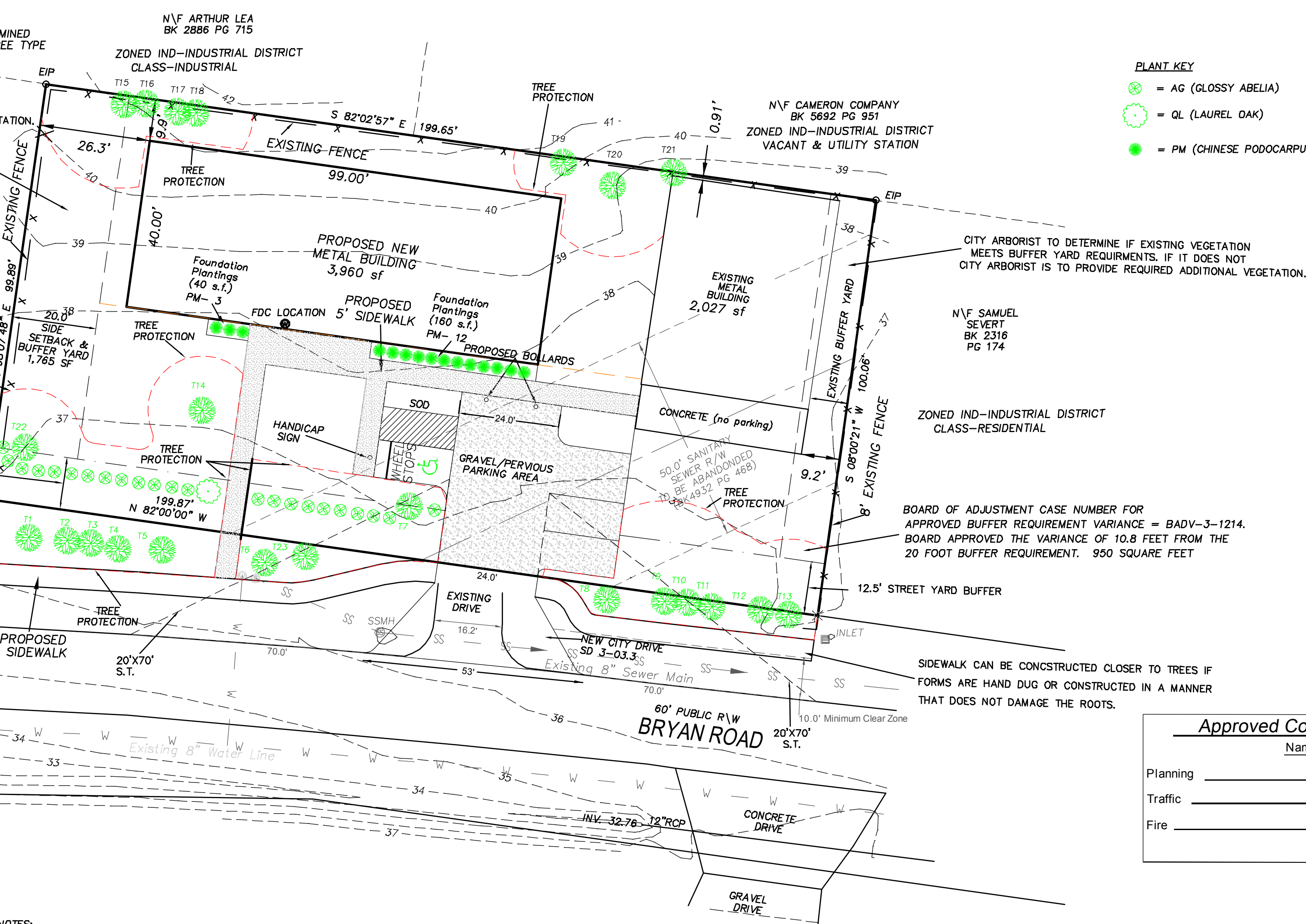
ONE TREE REQUIRED PER 30 FEET OF FRONTAGE  
 PLACEMENT, SIZE AND TYPE OF TREE TO BE DETERMINED  
 CITY ARBORIST, AARON REESE WILL ASSIST WITH TREE TYPE

CITY ARBORIST TO DETERMINE IF EXISTING VEGETATION MEETS BUFFER YARD REQUIREMENTS. IF IT DOES NOT CITY ARBORIST IS TO PROVIDE REQUIRED ADDITIONAL VEGETATION.

**EX. TREE TABLE**

- 1-19" PINE
- 2-15" PINE
- 3-14" PINE
- 4-18" PINE
- 5-18" PINE
- 6-8" OAK
- 7-48" OAK
- 8-19" PINE
- 9-24" PINE
- 10-12" OAK
- 11-18" PINE
- 12-12" HARDWOOD
- 13-18" PINE
- 14-13" OAK
- 15-20" PINE
- 16-15" PINE
- 17-18" PINE
- 18-18" PINE
- 19-12" PINE
- 20-17" PINE
- 21-13" HARDWOOD
- 22-14" PINE
- 23-12" HARDWOOD

NEAREST FIRE HYDRANT LOCATED AT BRYAN RD AND PORTWATCH WAY, 140' +/- SOUTHWEST

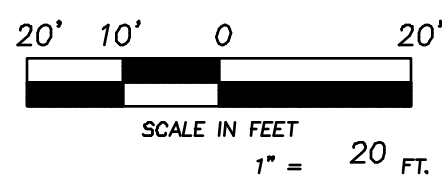


- NOTES:**
- TREE PROTECTION/REMOVAL PERMIT IS REQUIRED. PERMIT MUST BE OBTAINED AND MEET CITY OF WILMINGTON REQUIREMENTS.
  - NO TREES ARE PROPOSED TO BE REMOVED FROM THE SITE.

BUFFER YARD REQUIREMENTS:  
 (FENCE & PLANTING COMBINATION TO BE DETERMINED BY OWNER & CITY ARBORIST)  
 SOLID ARTIFICIAL FENCING WITH TWO ROWS OF A COMBINATION OF TREES & SHRUBS PROVIDED AT A MINIMUM HEIGHT OF THREE FEET AT INITIAL PLANTING AND GIVE AT LEAST 50% VISUAL OPACITY OF THE FENCE AT PLANTING; OR IF PERMEABLE FENCING IS USED, TWO ROWS OF PLANTED MATERIALS WHICH GIVE APPROXIMATELY 100% OPACITY OF THE FENCE WITHIN THREE YEARS OF PLANTING. THE BUFFER VEGETATION SHALL BE LOCATED BETWEEN THE FENCE AND THE COMMON PROPERTY LINE.

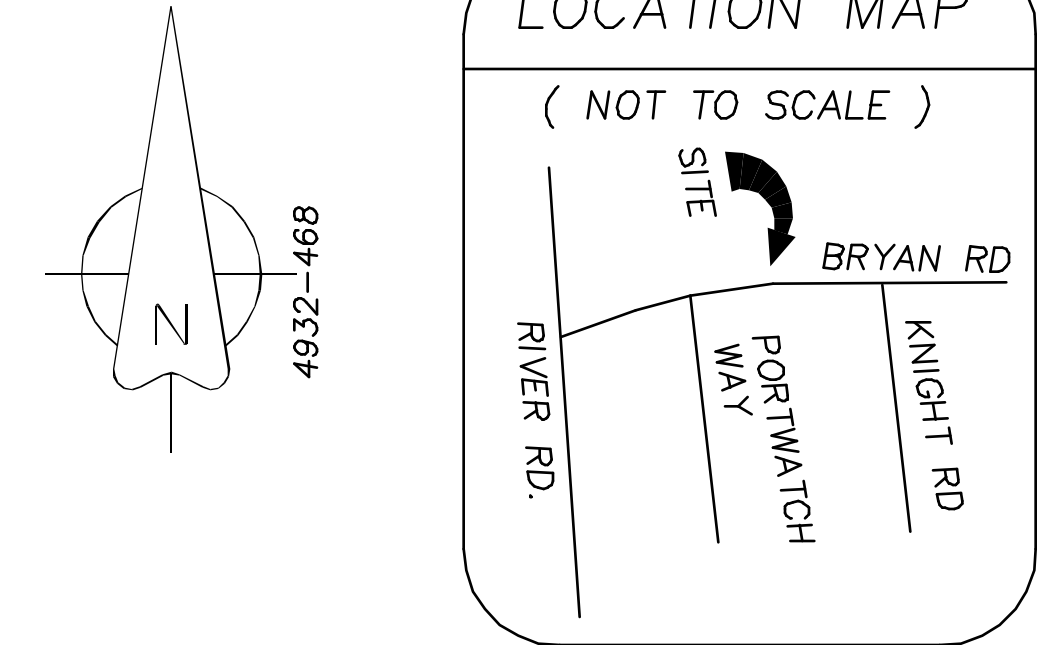
- NOTES:**
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  - ALL DISTANCES ARE HORIZONTAL, NC GRID NORTH
  - FOR REFERENCE SEE AS NOTED
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  - ELEVATION BASED ON NAVD 1988 (HDS GPS)

**Preliminary Plan**

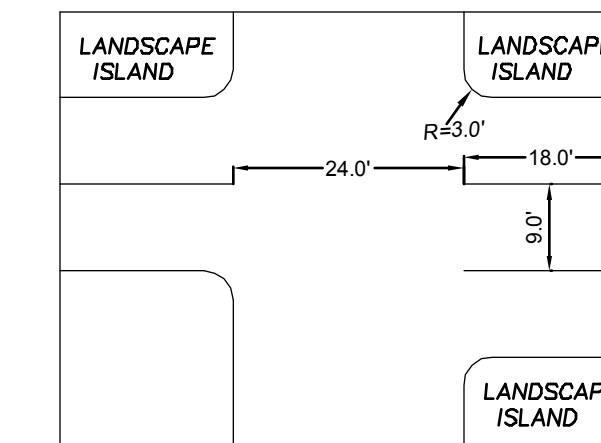


**LOCATION MAP**

( NOT TO SCALE )



**PARKING DIMENSIONS (TYPICAL)**

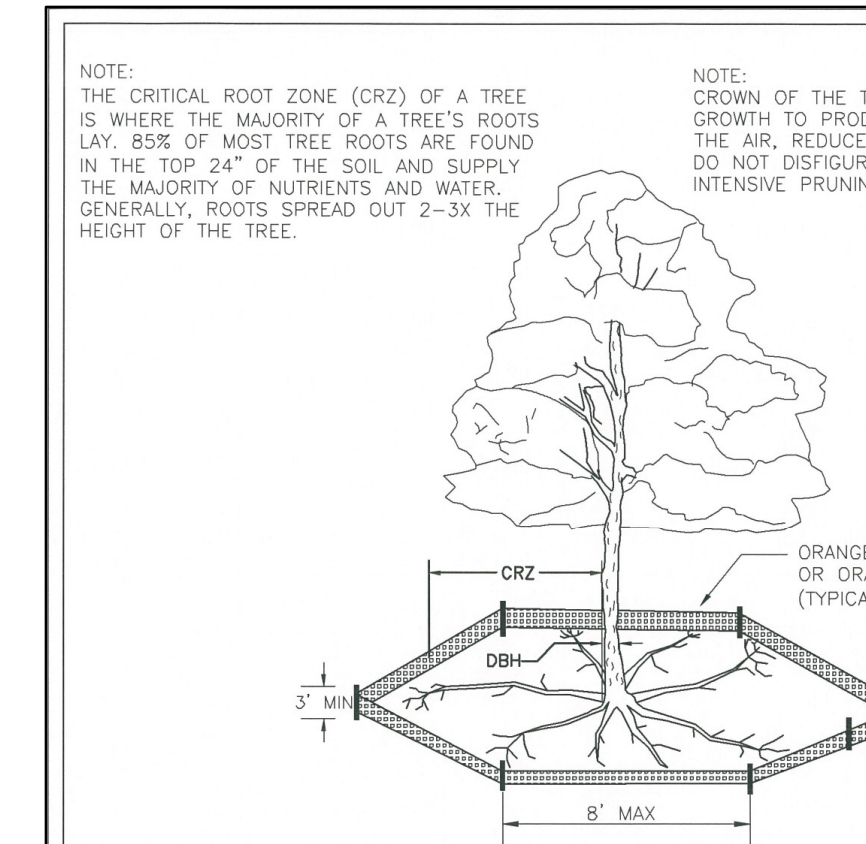


**NOTES:**

- Curbing, cross-ties, utility poles, etc. can be used as wheel stops if anchored down.
- All pavement markings in public rights-of-way and for driveways area to be thermoplastic and meet City and/or NCDOT standards.
- All signs and pavement markings in areas open to public traffic are to meet MUTCD (manual for Uniform Traffic Control Devices) standards.
- All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- All parking stall markings and lane arrows within the parking areas shall be white.
- A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
- A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat.
- Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

Plant Schedule					
Key	# of Each	Botanical Name	Common Name	Min. Size	Planting Remarks
QL	1	Quercus Laurifolia "Darlinton"	Laurel Oak	2"-2.5" Cal.	Canopy Tree
AG	21	Abelia x Grandiflora "Little Richard"	Glossy Abelia	15-18" Hgt.	Med. Shrub
PM	15	Podocarpus Macrophyllus "Maki"	Chinese Podocarpus	1"-18" Hgt.	Foundation Shrub

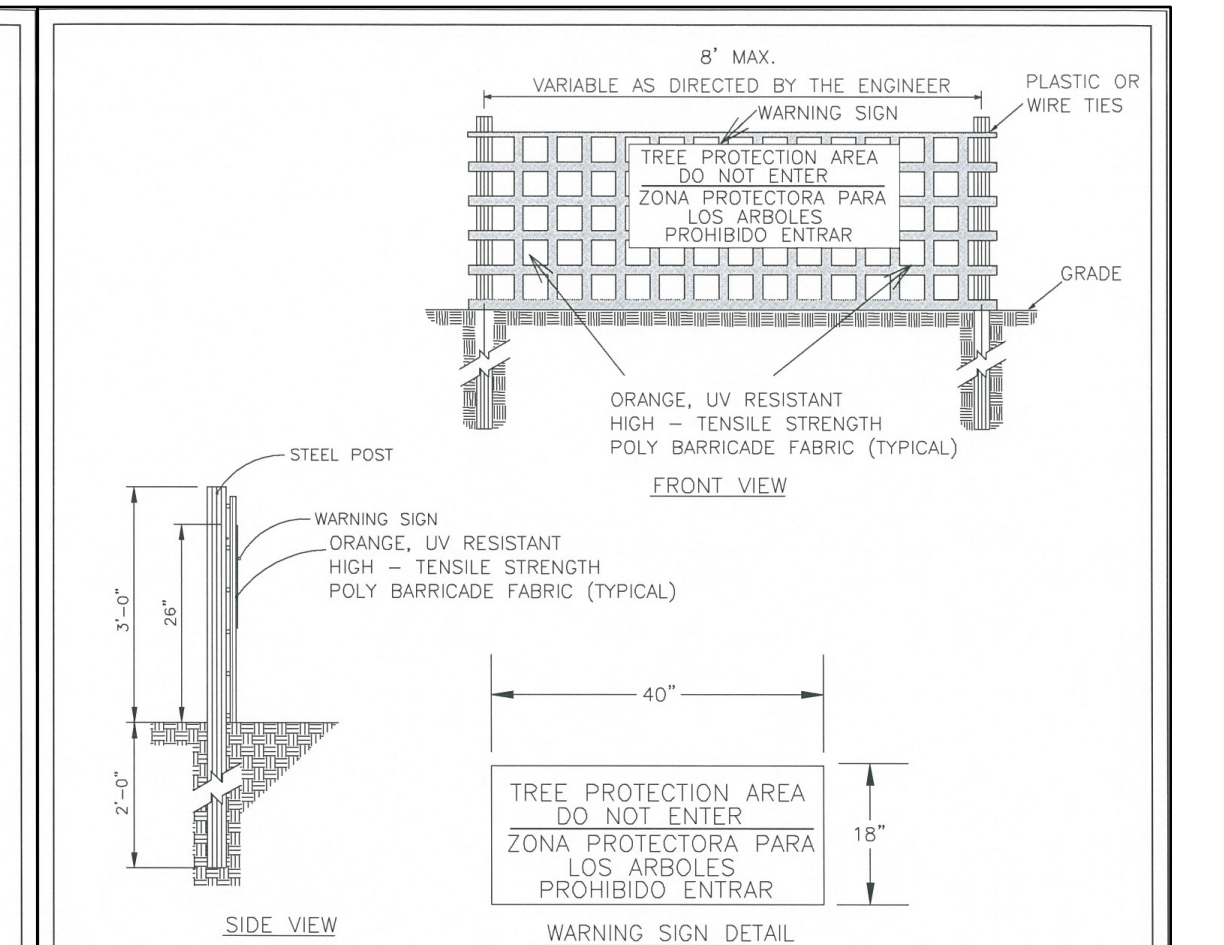
- PLANT KEY**
- AG (GLOSSY ABELIA)
  - QL (LAUREL OAK)
  - PM (CHINESE PODOCARPUS)



- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
  - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH). LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
  - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
  - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES, DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
  - FALLING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY, DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

DATE: JAN. 2015	CITY OF WILMINGTON
DRAWN BY: JSR	CITY OF WILMINGTON ENGINEERING
CHECKED BY: RDG, P.E.	PO BOX 1810
SCALE: NOT TO SCALE	WILMINGTON, N.C. 28402
	(910) 341-7887

DATE: JAN. 2015	SD 15-09
TREE PROTECTION DURING CONSTRUCTION	SHEET 1 of 2



- NOTES:**
- THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
  - WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
  - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
  - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
  - TREE PROTECTION FENCING AND SIGNS SHALL BE REMOVED AFTER CONSTRUCTION.
  - ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

DATE: JAN. 2015	SD 15-09
TREE PROTECTION DURING CONSTRUCTION	SHEET 2 of 2

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**LANDSCAPE PLAN**  
**SALTWATER PROPERTIES LLC**  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: SALTWATER WOODWORKING, INC.  
 200 S. 4th STREET  
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HANOVER DESIGN SERVICES, P.A.  
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS  
 1123 FLORAL PARKWAY  
 WILMINGTON, N.C. 28403  
 PHONE: (910) 343-8002 LICENSE NO.: IC-058Z

City of Wilmington Engineering  
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DATE: 12-01-17  
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 DRAWN: WNP  
 CHECKED: JLW  
 PROJECT NO: 12957-SITE  
 SHEET NO: 2  
 OF: 2

REV. NO.	REVISIONS	DATE
3	CITY COMMENTS	08-28-2018
2	BUILDING CROSS AREA CHANGE, PARKING CHANGES	03-14-2018
1	CITY OF WILMINGTON TRC REVIEW COMMENTS	10-10-2017

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